

Local Planning Panel

8 June 2022

375 Glebe Point Road, Glebe

D/2021/1498

Applicant/Architect: Environa Studio

Owners: Mr Lawrence Luk and Ms Fanny Cheng

Planning Consultant: Sutherland & Associates Planning

Heritage Consultant: Matt Devine & Co

proposal

- alterations and additions to mixed-use building (heritage item)
- minor excavation and expansion of the small wine bar/café to increase capacity from 50 to 76 patrons
- internal alterations to existing retail bottle shop
- demolish external laundries at level 2 terrace
- alterations to all 3 residential apartments
- conversion of common open space to private open space
- minor changes to building facade

recommendation

approval subject to conditions

notification information

- exhibition period 7 January 2022 to 24 January 2022
- 180 owners and occupiers notified
- 3 submissions received
- re-notification from 21 February 2022 and 8 March 2022 to correct error in relation to hours of operation
- no further submissions received



submissions

submissions generally support the application subject to:

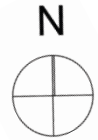
- no additional parking demands
- compliance with the approved hours of operation
- condition that windows remain closed and no noise from waste disposal between 8pm and 9am
- no entertainment from rooftop terrace

submissions



-  subject site
-  submitters

site





site viewed from corner of Glebe Point Road and Forsyth Street

site



site viewed from corner of Forsyth Street and Arden Lane

site



site and 2-4 Avona Avenue viewed from corner Forsyth Street and Arden Lane

site



site viewed from Charlton Way

site



adjoining heritage building (377-376 Glebe Point Road) as viewed from rear lane

site



2-4 Avona Ave

view of 2-4 Avona Avenue from level 2 terrace of subject site

site



view to 2 Forsyth Street and 373 Glebe Point Road from level 2 terrace

site



365 Glebe
Point Rd



371 Glebe
Point Rd

view of 365 and 371 Glebe Point Road as viewed from Arden Lane

site



rear of building as viewed from Level 2 terrace of subject site

site



internal common residential stairwell

site



existing lower ground (level 1) retail storage area



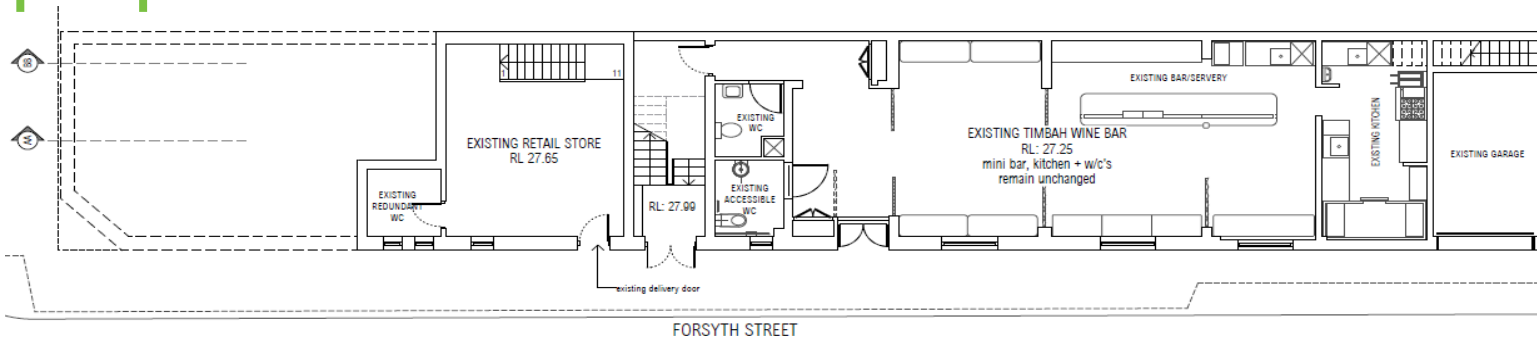
existing small wine bar/café at the lower ground level (level 1)

site

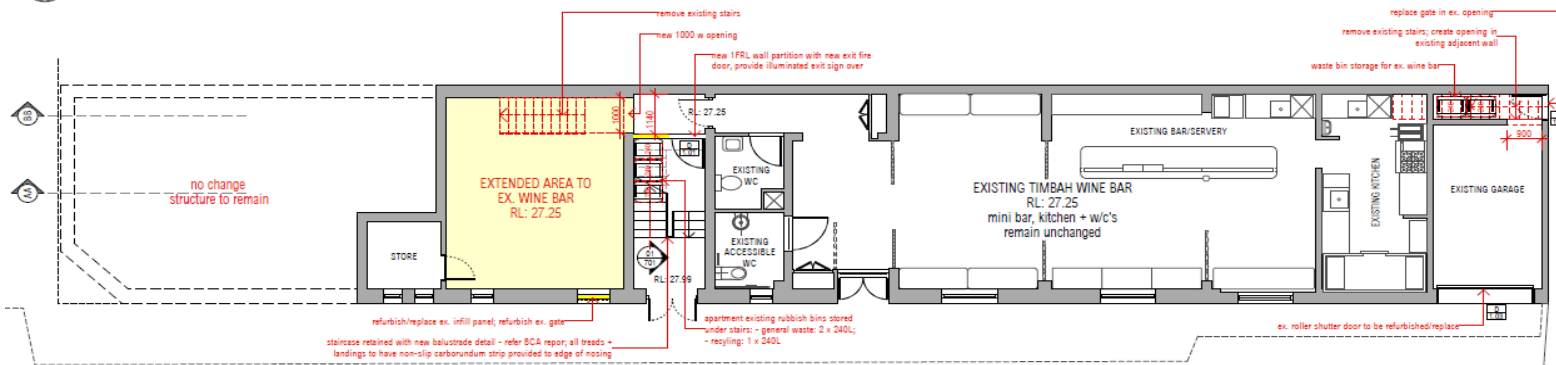


existing ground level (level 2) retail bottle shop

proposal



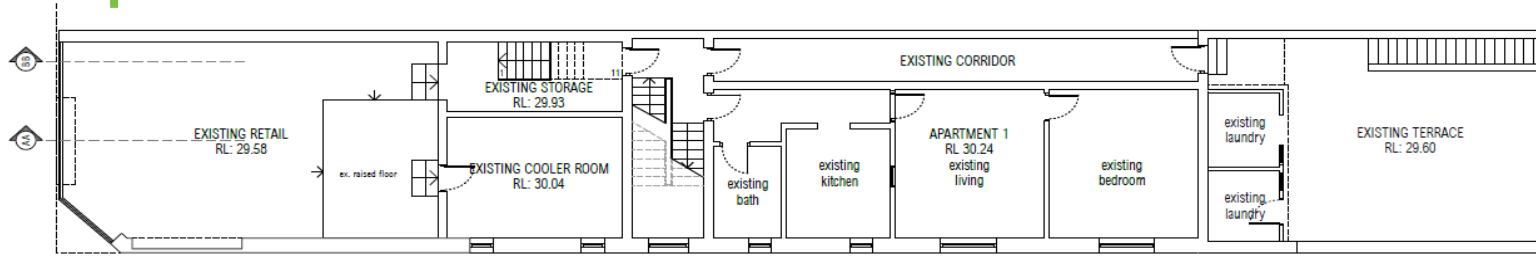
LEVEL 1 FLOOR PLAN - EXISTING
1:100 @ A3 NB: all dimensions shown must be confirmed on site



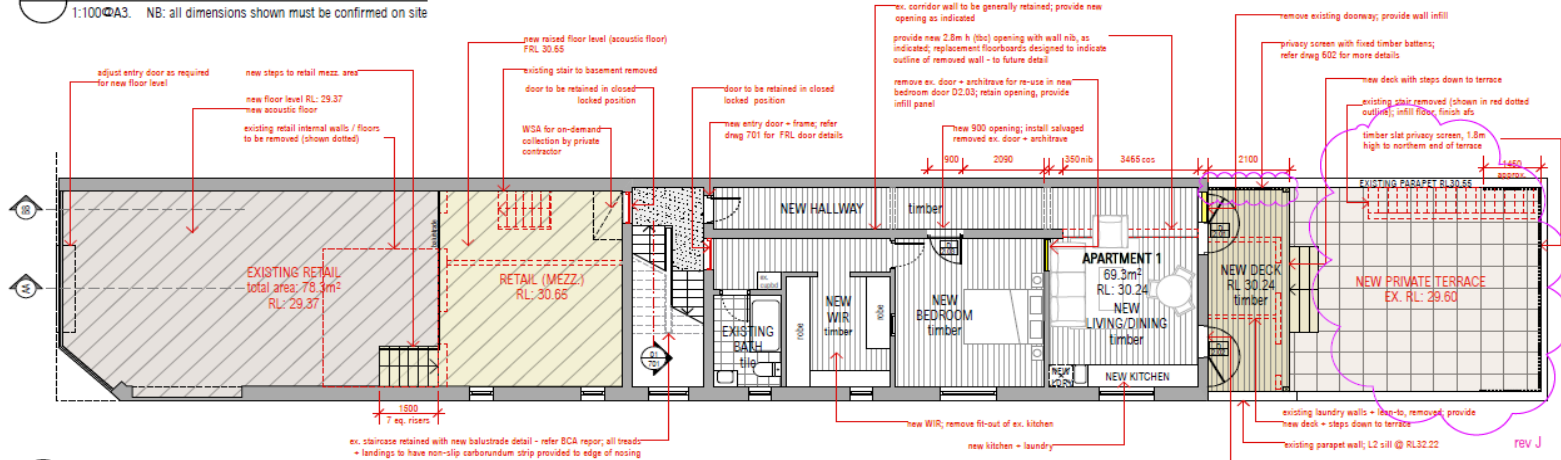
LEVEL 1 FLOOR PLAN - PROPOSED
1:100 @ A3 NB: all dimensions shown must be confirmed on site

existing and proposed lower ground (level 1) floor plans

proposal



LEVEL 2 FLOOR PLAN - EXISTING
1:100 @ A3 NB: all dimensions shown must be confirmed on site

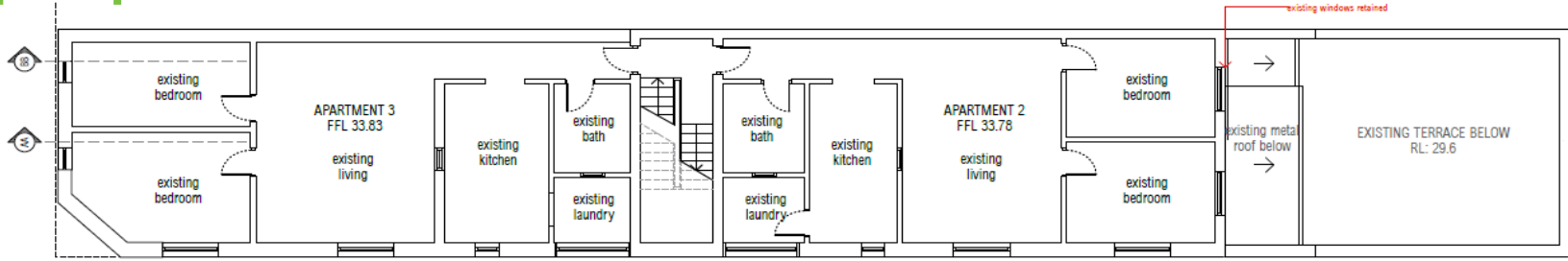


LEVEL 2 FLOOR PLAN
1:100 @ A3 NB: all dimensions shown must be confirmed on site

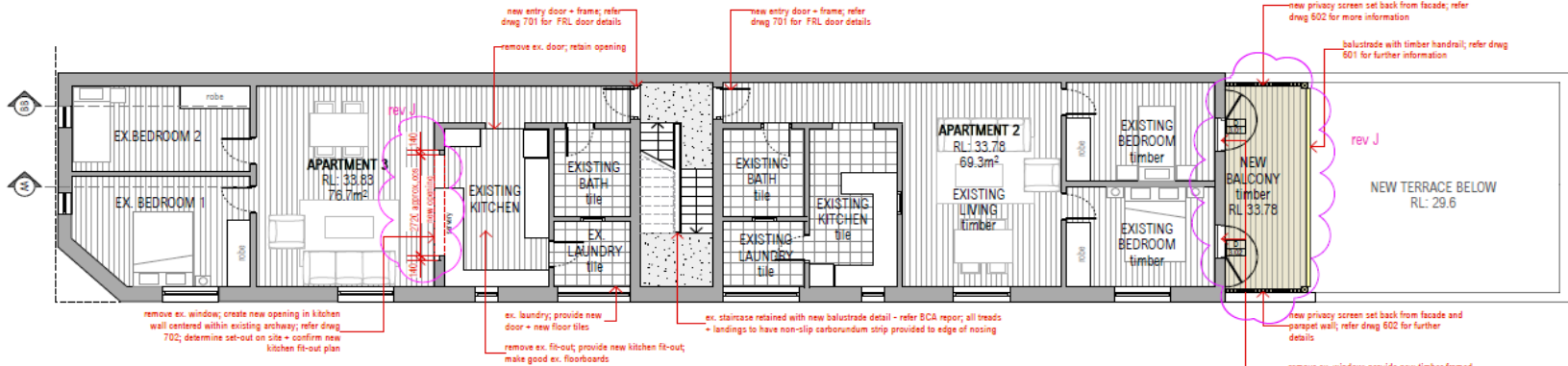
existing and proposed ground (level 2) floor plans



proposal



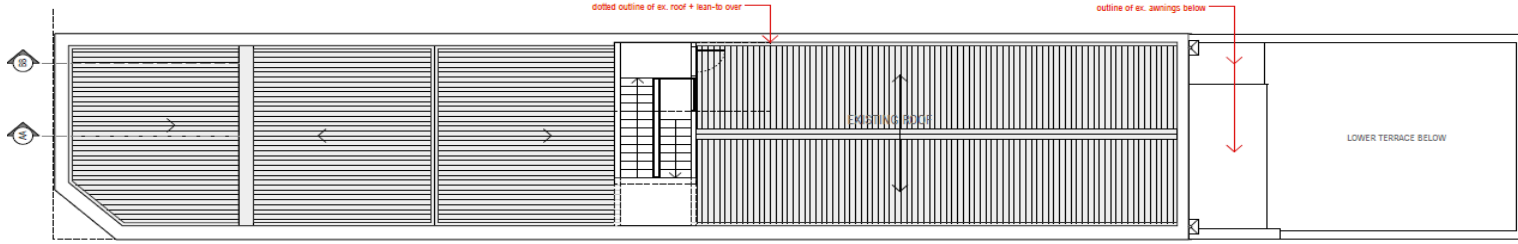
LEVEL 3 FLOOR PLAN - EXISTING
1:100 A3 NB: all dimensions shown must be confirmed on site



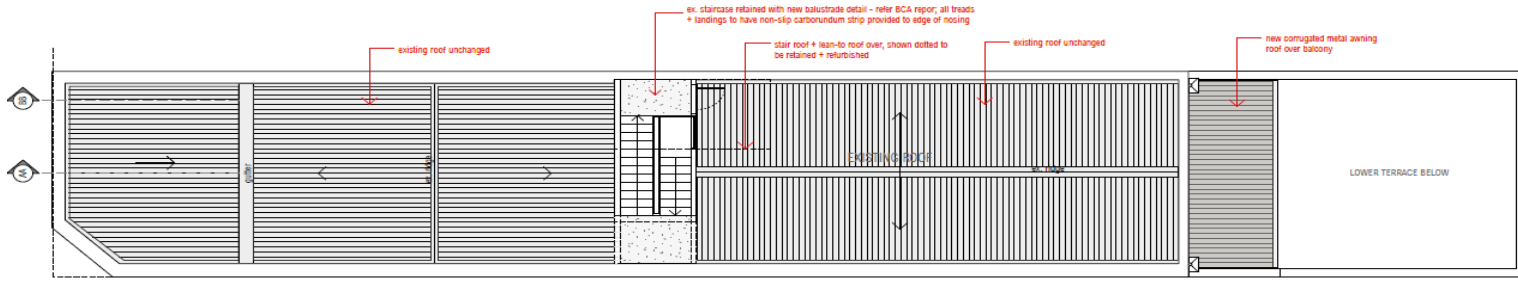
LEVEL 3 FLOOR PLAN - PROPOSED
1:100 A3 NB: all dimensions shown must be confirmed on site

existing and proposed level 3 floor plans

proposal



LEVEL 4 / ROOF PLAN - EXISTING
1:100ΦA3



LEVEL 4 / ROOF PLAN - PROPOSED
1:100ΦA3

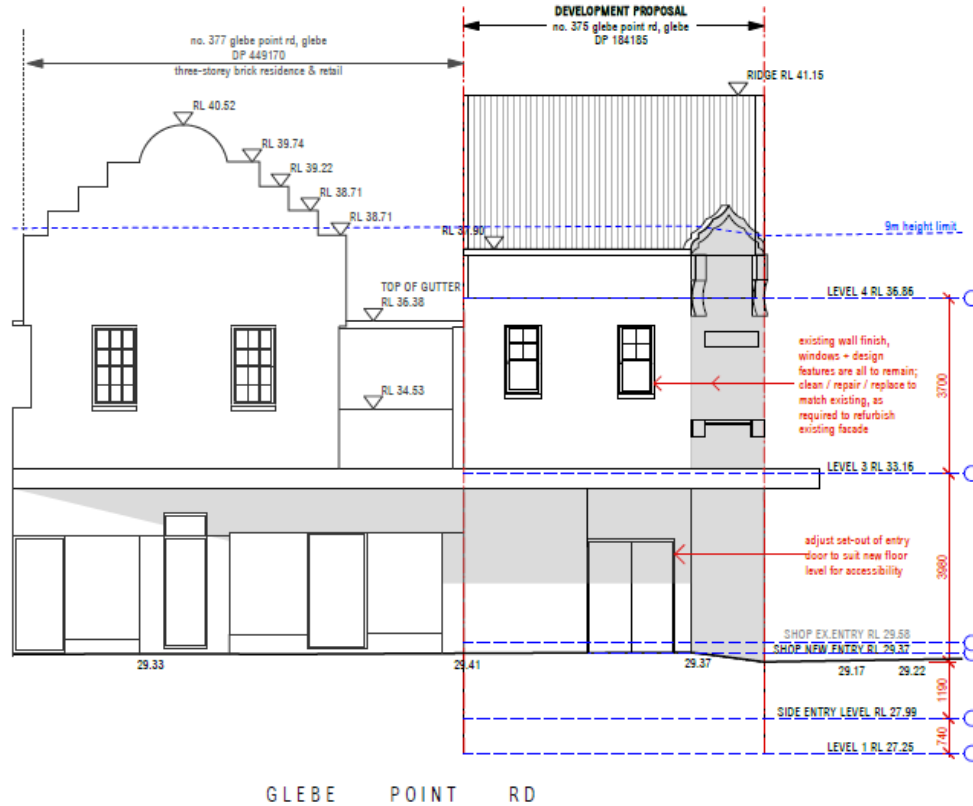
PLEASE NOTE:
There are no changes to the existing roof and lean-to on Level 4, apart from remedial works required for repairs/maintenance and compliance with the NCC. We confirm that any remedial works will match existing; all existing heights and building form will remain as existing.

REV J



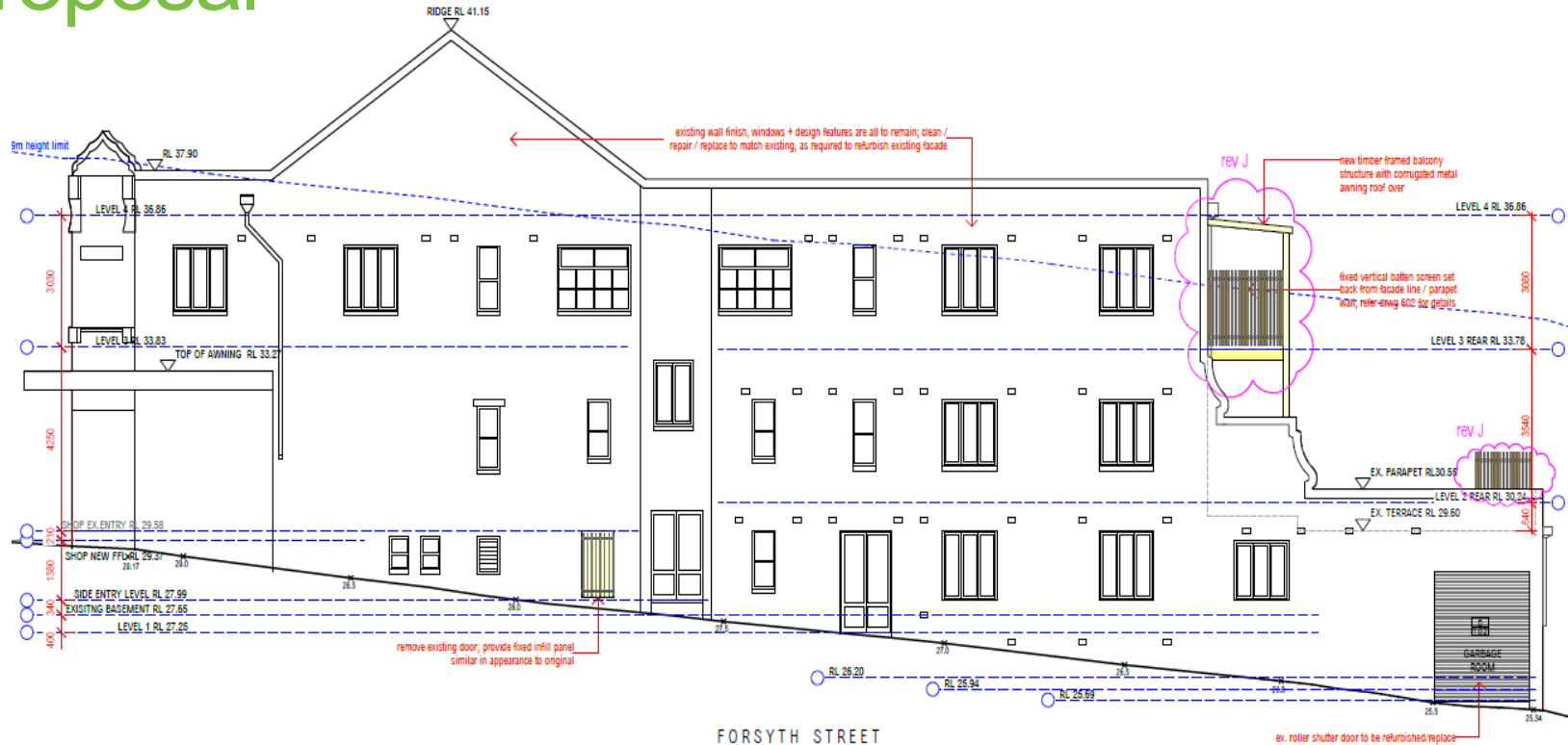
existing and proposed roof plans

proposal



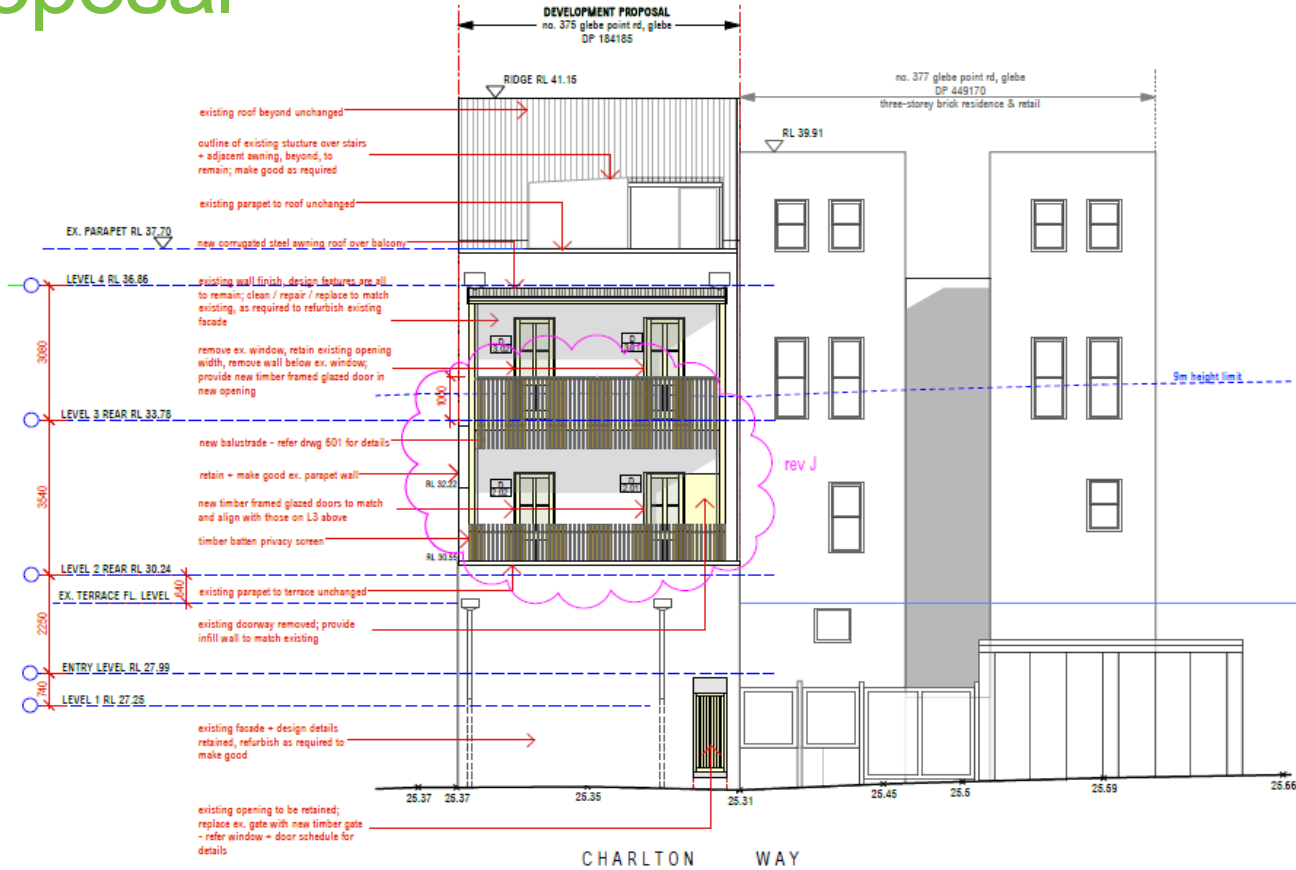
proposed front south-west elevation (Glebe Point Road)

proposal



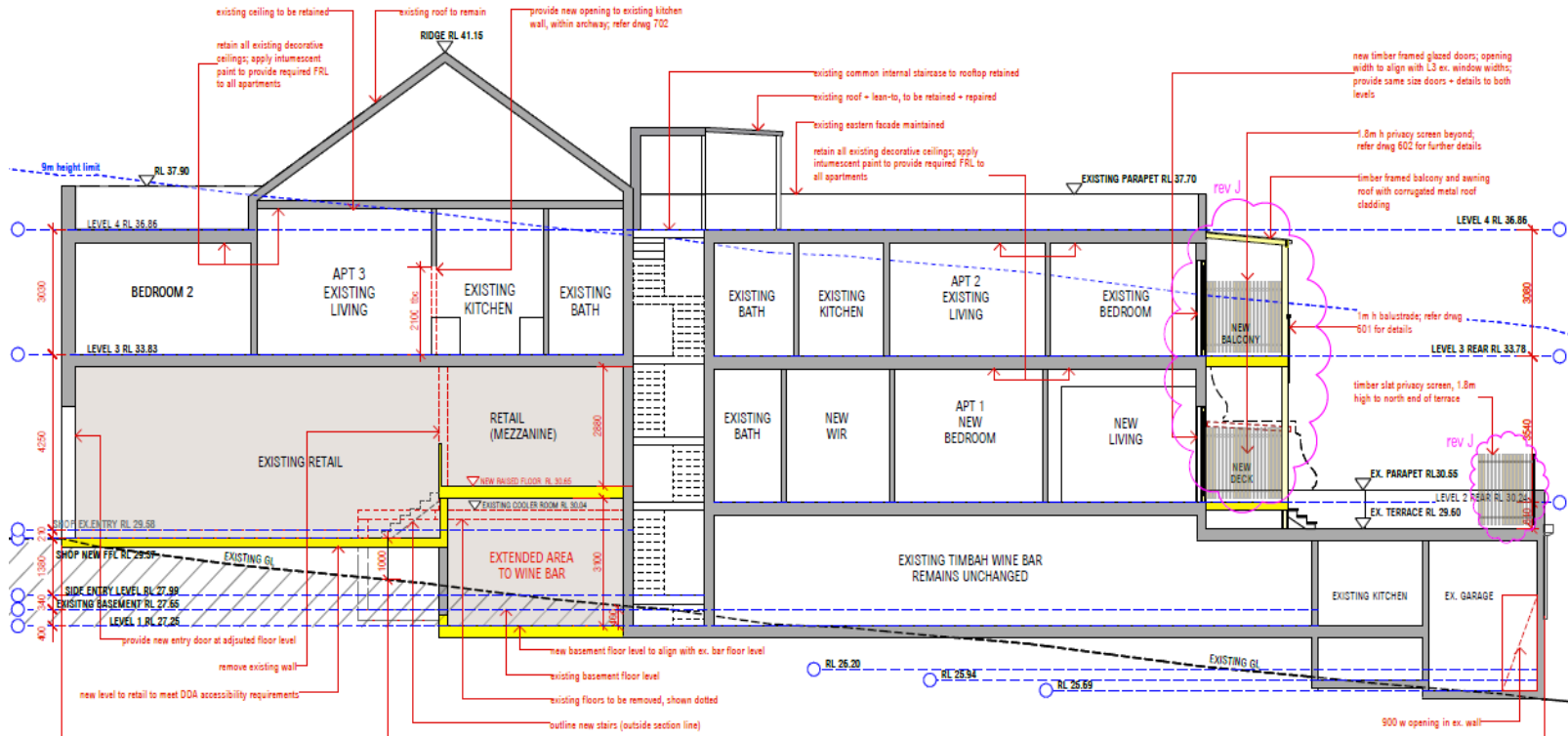
proposed south-east elevation (Forsyth Street)

proposal



proposed rear north-east elevation (Charlton Way)

proposal



section AA plan

proposal



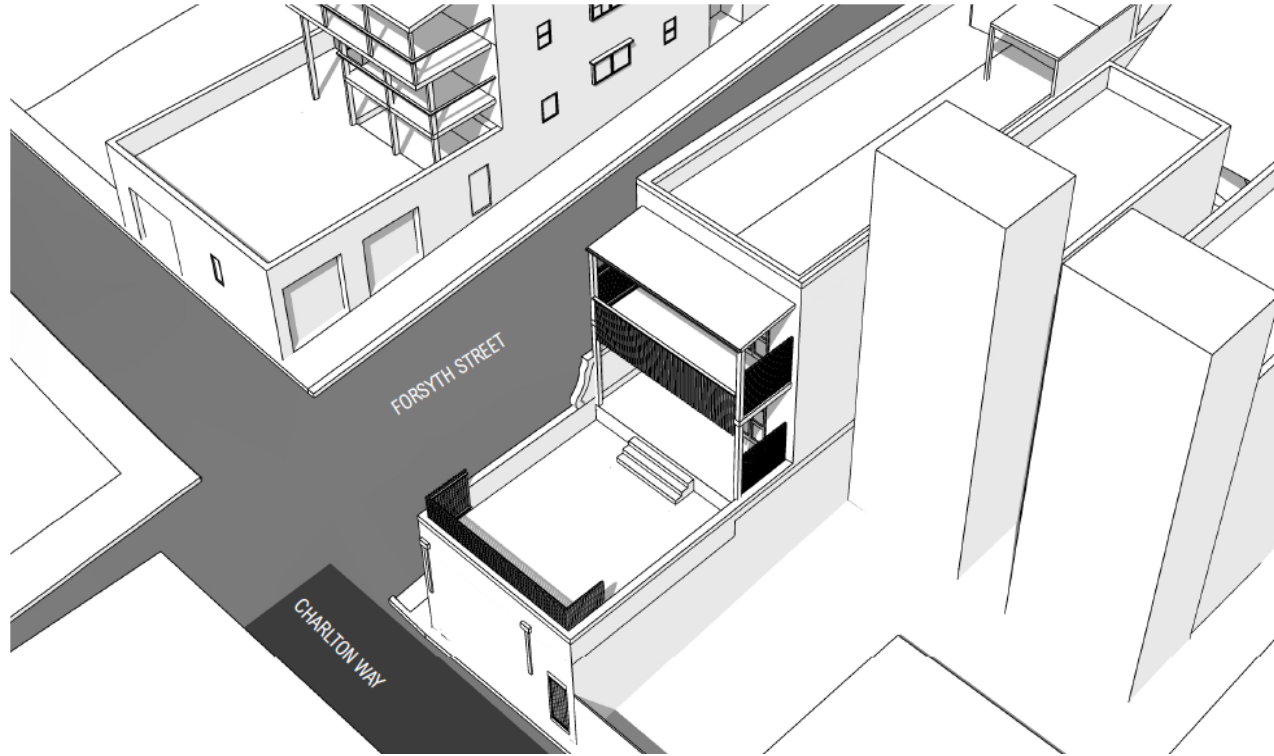
perspective viewed from Glebe Point Road

proposal



perspective viewed from Forsyth Street


proposal







aerial perspective from Charlton Way

materials and finishes

MATERIALS + FINISHES SCHEDULE

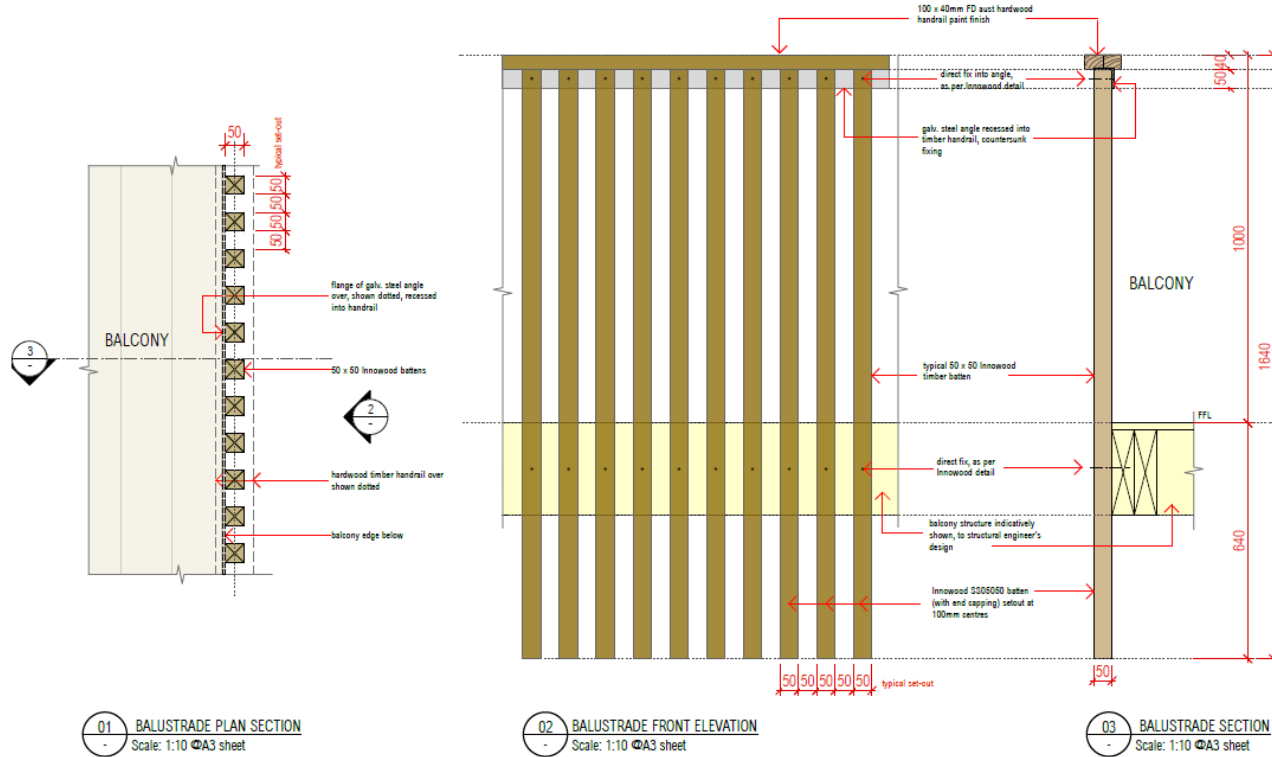
EXTERNAL ITEMS	MATERIAL	COLOUR CODE (NAME)
  <p>BALCONY FLOORING</p>	MIDWOOD	"natural grey collection" silver gum
  <p>DOOR FRAMES WINDOW FRAMES</p>	TIMBER, PAINT FINISH	dark green to match existing - dulux "weep brunswick green" from the National Trust inter-war colour chart
  <p>WALLS, GUTTERS + DOWNPIPES</p>	- ALL AS EXISTING FINISH; DESIGN FEATURES ARE ALL TO REMAIN CLEAN / REPAIR / REPLACE, AS REQUIRED TO REFURBISH - ALL TO MATCH EXISTING, WITH NEW PAINT FINISH	dulux "snowdrift" from the National Trust inter-war colour chart
  <p>BALLUSTRADE</p>	INNOWOOD INNOSCREEN FACE/REAR FIXING SYSTEM OR EQUAL with SS 05050 BATTENS (composite timber 50 x 50 BATTENS)	brushed wood grain finish, "Tasmanian Oak"
  <p>BALCONY AWNING</p>	METAL ROOFING - LYSAGHT CUSTOM ORB OR SIMILAR PRODUCT	colorbond "shale grey" or similar

EXTERNAL ITEMS	MATERIAL	COLOUR CODE (NAME)
  <p>PRIVACY SCREEN</p>	INNOWOOD INNOSCREEN FACE/REAR FIXING SYSTEM OR EQUAL with SS 05050 BATTENS (composite timber 50 x 50 BATTENS)	brushed wood grain finish, "Tasmanian Oak"
  <p>TERRACE FLOOR TILES</p>	TO MATCH EXISTING	to match existing

rev J

rev J

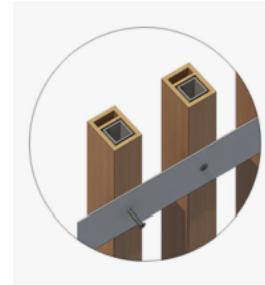
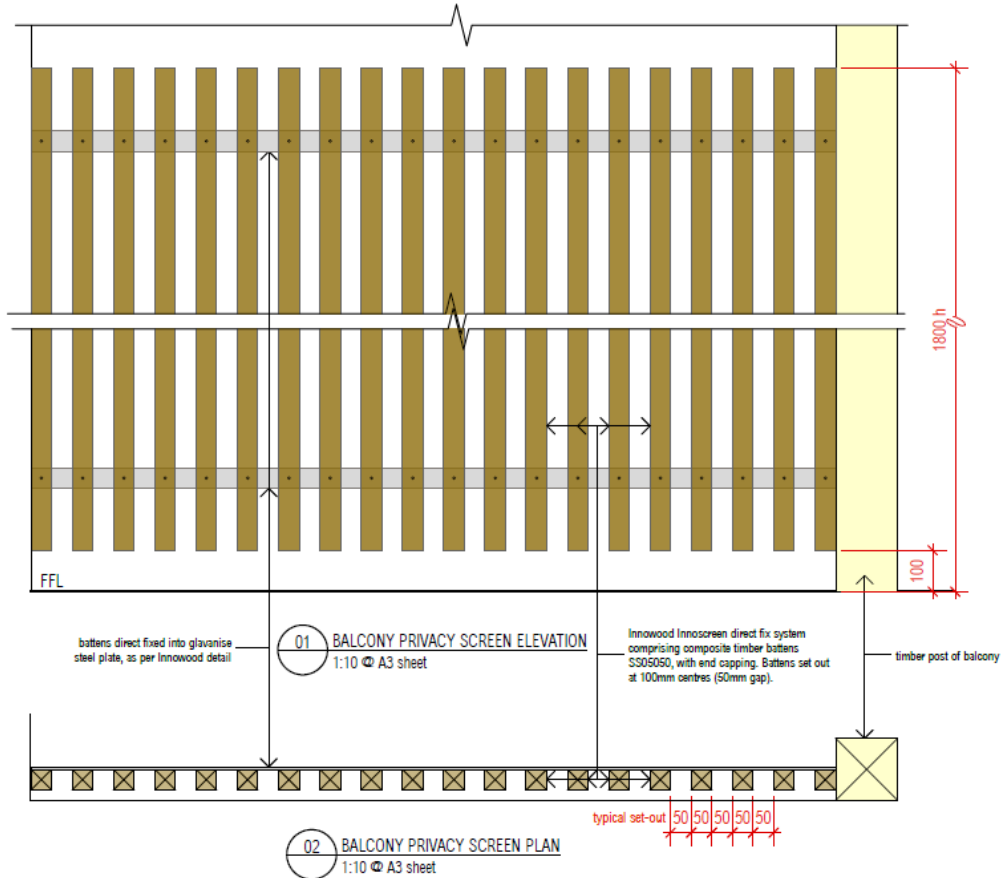
materials and finishes



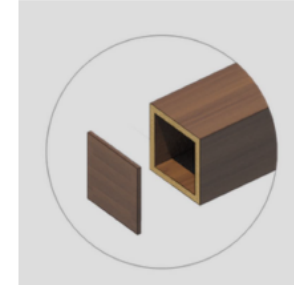
NOTE: REFER DRAWING 602 FOR FURTHER DETAILS ON INNOWOOD SCREEN

balcony balustrade details

materials and finishes



DIRECT FIXING OF BATTENS



BATTEN END CAPPING



SS 05050 BATTEN
50 x 50mm

FACE & REAR FIXING

Innoscreen's Face & Rear Fixing System is a direct fixing method whereby battens are either face-fixed or back-fixed directly through the profile to achieve visible fixing and a familiar installation technique. Innoscreen Face & Rear Fixing Systems are also finished on all faces for applications where the batten is visible on both sides of the installation.

03 INNOWOOD INNOSCREEN PRIVACY SCREEN DETAILS
nts

privacy screen details

compliance with key LEP standards

	control	existing	proposed	compliance
height	9m	12.9m	10.39m	no clause 4.6 request supported
floor space ratio	1.5:1	1.9:1	1.87:1	no clause 4.6 request supported

compliance with key DCP controls

	control	proposed	compliance
height in storeys	2 storeys	no change to existing 2-3 storeys	no
setbacks	consistent with adjoining buildings	level 2 – maintain existing level 3 - > 6m	yes
floor to floor heights	ground level retail – 4.5m	small bar: increase to 3.4m bottle shop: increase to 4.46m retail mezzanine: 3.18m	no

compliance with key DCP controls

	control	proposed	compliance
private open space	provide for minimum 75% of dwellings	create private open space for 2 apartments (66.6%)	no
common open space	minimum 25% of the total site area	nil	no
solar access	minimum 2hrs between 9am and 3pm on 21 June to living rooms and private open space	greater than 2hrs to subject site and neighbouring properties	yes

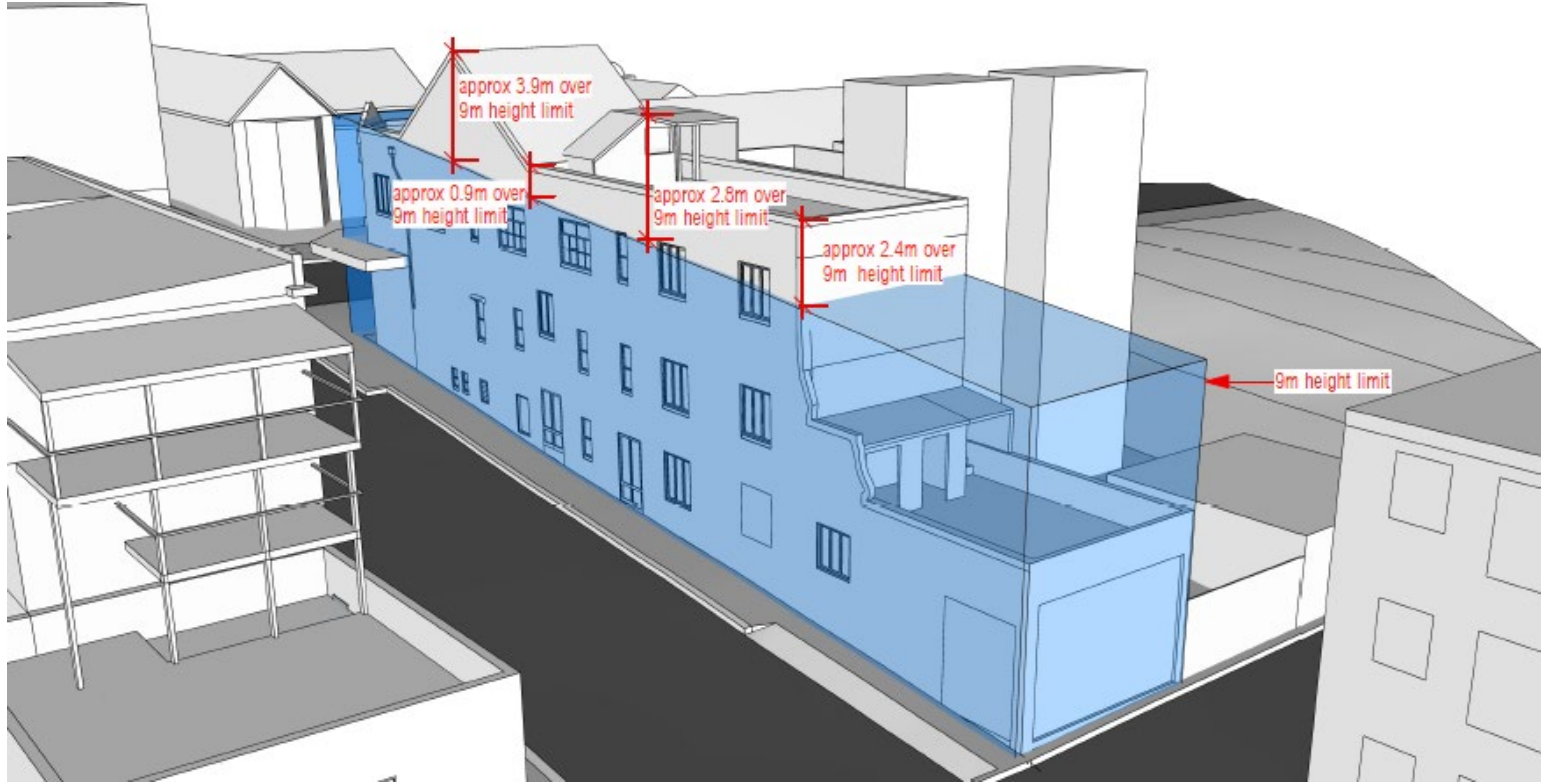
issues

- building height
- floor space ratio
- visual privacy
- acoustic privacy
- notice of modification to existing wine bar consent

height

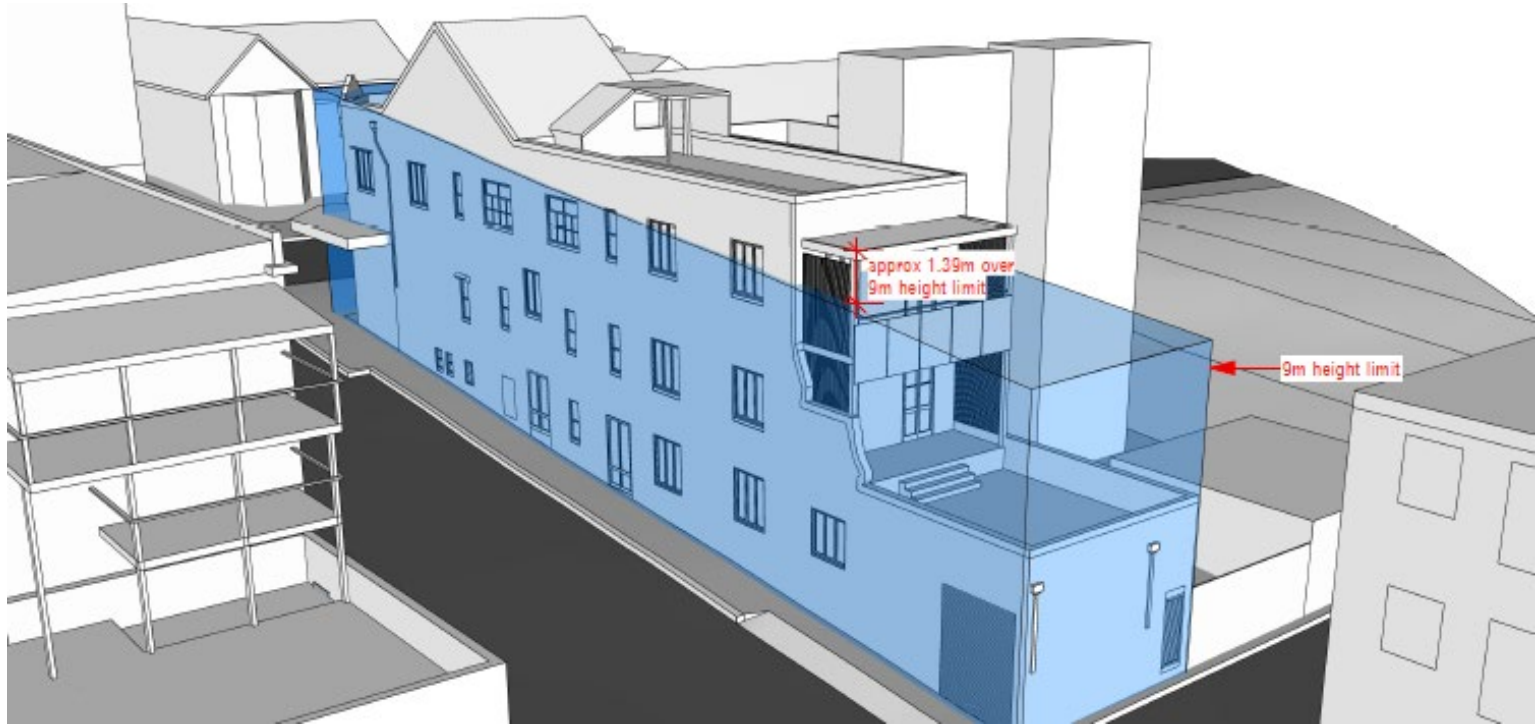
- non-compliance with height results from a portion of the level 3 balcony, its roof and portion of privacy screens
- existing building exceeds height standard by 3.9m
- balcony sits 1.01m below parapet height of existing building
- balcony provides private open space to an apartment that currently does not have any private open space
- balcony roof provides all weather protection
- screens minimise potential privacy impacts
- lightweight and open design ensures no excessive visual bulk

height



existing elements above the 9m height standard

height



proposed elements above the 9m height standard

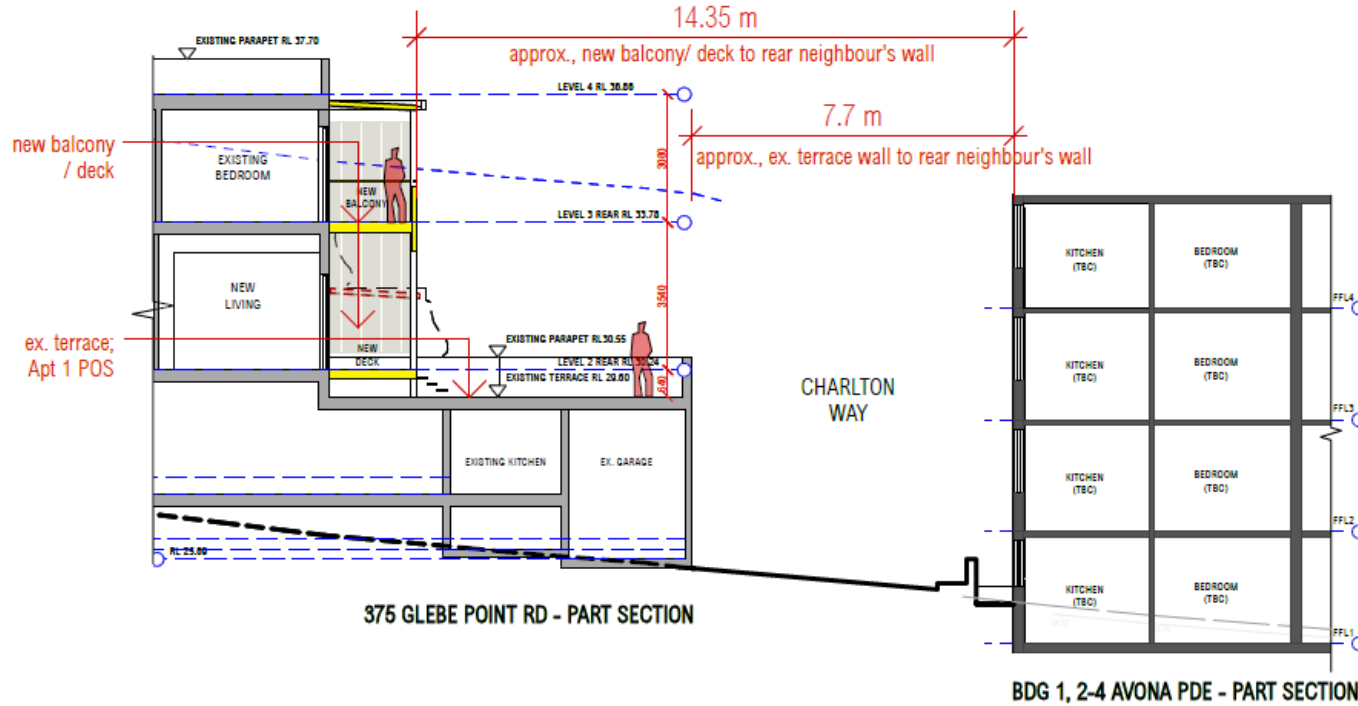
floor space ratio

- existing gross floor area exceeds by 91.8sqm
- proposed gross floor area will decrease by 5.8sqm
- reduced gross floor area largely due to demolition of two laundries on level 2 terrace
- strict compliance would result in detrimental impacts to local heritage item
- no increase to number of apartments
- minor increase to gross floor area commercial tenancies is contained within existing building envelope

visual privacy

- separation distance between balconies and residential flat building on opposite side of Charlton Way exceeds 12m (i.e. 14.35m)
- balconies adjoin neighbouring garages, service areas and landscaped rear setback
- adjoining private open space cannot be seen from subject site
- fixed timber privacy screens ensure no unreasonable privacy impacts

visual privacy



proposed separation between balconies and opposite residential flat building

acoustic privacy

- no change proposed to approved hours of operation (10am to 10pm Monday to Saturday and 10am to 9pm Sundays)
- existing consent includes conditions relating to noise, entertainment and music
- no history of noise related complaints from existing premises
- proposal will increase patron capacity from 50 to 76
- new acoustic flooring to reduce noise impacts to residents within subject building
- conditions recommended to ensure noise criteria met and continued compliance with existing operational restrictions

notice of modification

- required to ensure consistency required between existing wine bar consent D/2009/136 and the updated plans and operational conditions on this application.
- condition requiring Notice of Modification prior to issue of Occupation Certificate

recommendation

- approval subject to conditions